

**LEGEND**

- EXIST. WALL CONSTRUCTION TO REMAIN.
- NORTH ARROW
- NEW WALL CONSTRUCTION - SEE WALL TYPE SCHEDULE BELOW

**1 GROUND FLOOR PLAN**  
1/2"=1'-0"

**FLOOR PLAN EXAMPLE:**

- Indicate on Floor Plan:
- 1. Existing Construction
  - 2. New Construction
  - 3. North Arrow
  - 4. Scale
  - 5. Dimensions
  - 6. New/Existing Doors & Windows
  - 7. New Finishes
  - 8. Property Lines
  - 9. Partition/Wall Construction

CURB

RIVERSIDE AVENUE

WALL TYPES	NOTE: SEE C-1 FOR COMPLETE DESCRIPTION OF UL DESIGN NUMBERS U365 & U356.
<b>PARTITION WALLS:</b>	<b>EXTERIOR WALLS:</b>
<b>1</b> WALL TYPE 1 UL DESIGN NO. U365. APPLY ONE LAYER OF 5/8" TYPE "X" GYPSUM BOARD TO EXISTING FACE OF WALL BEFORE CONSTRUCTION OF RATED WALL. 5/8" TYPE "X" GYPSUM WALL BOARD AT BOTH SIDES OF 2X4 WOOD STUDS AND 3 1/2" OF SOUND ATTENUATION BLANKET. TOTAL DEPTH OF 5 3/8".	<b>2</b> WALL TYPE 2 UL DESIGN NO. U356. ONE HOUR RATED WALL CONSTRUCTION. 5/8" TYPE "X" GYPSUM WALL BOARD AT INTERIOR SIDE OF 2X4 WOOD STUD WALL AND FRT 1/2" PLYWOOD AT EXTERIOR SIDE AND 3 1/2" OF SOUND ATTENUATION BLANKET. INSTALL VINYL SIDING AT EXTERIOR PER UL DESIGN REQUIREMENTS. TOTAL DEPTH OF WALL CONSTRUCTION IS 4 3/4". NOTE: WALL TYPE 2 OCCURS VERTICALLY ABOVE ROOF OF ADJOINING PROPERTY. DO NOT BUILD ON OVER EXISTING PARTY WALL.
<b>1A</b> WALL TYPE 1A 1/2" GYPSUM WALL BOARD BOTH SIDES OF 2X4 WOOD STUDS. TOTAL DEPTH OF 4 1/2".	<b>3</b> WALL TYPE 3 UL DESIGN NO. U356 - ONE HOUR RATED WALL CONSTRUCTION. SAME AS WALL TYPE 2 ABOVE WITH 1/2" OF STUCCO IN LIEU OF VINYL SIDING AND 2X6 WOOD STUDS IN LIEU OF 2X4. TOTAL DEPTH OF WALL CONSTRUCTION IS 7 1/8". WALL TYPE 4 NOT USED.
<b>1B</b> WALL TYPE 1B ONE HOUR RATED WALL CONSTRUCTION. SAME AS WALL TYPE 1 ABOVE WITH ADDITIONAL LAYER OF 1/2" CEMENT BOARD AND CERAMIC TILE AT BATH TUB/SHOWER SURROUND. TOTAL DEPTH OF 6 3/8".	<b>FURRED WALLS:</b>
<b>1C</b> WALL TYPE 1C 1/2" GYPSUM WALL BOARD EITHER SIDE OF 2X4 WOOD STUDS WITH 3 1/2" SOUND ATTENUATION BLANKETS. TOTAL DEPTH OF 4 1/2".	<b>5</b> WALL TYPE 5 1 5/8" METAL FURRING WITH 1/2" GYPSUM WALL BOARD AND 1 5/8" RIGID INSULATION. TOTAL DEPTH OF 2 1/8".
<b>1D</b> WALL TYPE 1D 1/2" GYPSUM WALL BOARD EITHER SIDE OF 2X3 WOOD STUDS WITH 3 1/2" SOUND ATTENUATION BLANKETS. TOTAL DEPTH OF 3 1/2".	<b>5A</b> WALL TYPE 5A 2X4 WOOD STUDS WITH 1/2" GYPSUM WALL BOARD AND 3 1/2" BATT INSULATION. TOTAL DEPTH OF 4".
<b>1E</b> WALL TYPE 1E 1/2" GYPSUM WALL BOARD AT FINISHED SIDE OF 2X3 WOOD STUD WALL. TOTAL DEPTH OF 3".	<b>5B</b> WALL TYPE 5B SAME AS WALL TYPE 5 ABOVE WITHOUT RIGID INSULATION.
<b>1F</b> WALL TYPE 1F 1/2" GYPSUM WALL BOARD AT FINISHED SIDE OF 2X4 WOOD STUD WALL. TOTAL DEPTH OF 4".	

KEYED CONSTRUCTION NOTES
<p><b>1</b> NEW SOLID CORE WOOD DOOR IN EXIST. OPNS. FINAL UNIT TO BE SELECTED.</p> <p><b>2</b> NOT USED.</p> <p><b>3</b> NEW VINYL REPLACEMENT DOUBLE HUNG WINDOW IN EXIST. OPNS. EXISTING WOOD JAMB TRIM TO REMAIN, FURNISH NEW IX WOOD HEAD &amp; SILL CASING PAINT GRADE TRIM. FINAL MANUFACTURER &amp; UNIT TO BE SELECTED.</p> <p><b>4</b> NEW VINYL DOUBLE HUNG WINDOW IN NEW OPENING. NEW IX WOOD TRIM PAINT GRADE SILL, JAMB AND HEAD. FINAL MANUFACTURER &amp; UNIT TO BE SELECTED.</p> <p><b>5</b> LINE OF NEW P.T. WOOD DECK PROJECTION ABV DASHED.</p> <p><b>6</b> NEW WALL AND FLOOR KITCHEN CABINETS. COORDINATE FINAL SELECTION WITH OWNER. PROVIDE ADEQUATE BLOCKING FOR WALL MOUNTED ITEMS.</p> <p><b>7</b> KITCHEN APPLIANCES AND FIXTURES SHOWN FOR PRELIMINARY LAYOUT PURPOSES ONLY. COORDINATE FINAL SELECTION AND UNIT REQUIREMENTS FOR PLUMBING, ELECTRICAL, DIMENSIONAL &amp; VENTING. INCLUDE GARBAGE DISPOSER, SINK AND FAUCETS, STOVE AND OVEN, DISHWASHER AND REFRIGERATOR.</p> <p><b>8</b> NEW BUILT-IN RECESSED ENAMELED STEEL BATH TUB WITH CERAMIC TILE SURROUND. COORDINATE FINAL SELECTION WITH OWNER. INSTALL CEMENT BOARD AT TILE SURROUND.</p> <p><b>9</b> NEW TOILET. COORDINATE FINAL SELECTION W/ OWNER.</p> <p><b>10</b> NEW SINK, FAUCETS &amp; MEDICINE CABINET MIRROR/COMBINATION. COORDINATE FINAL SELECTION WITH OWNER.</p> <p><b>11</b> NEW HARDWOOD HANDRAIL.</p> <p><b>12</b> NEW BUILT-IN WOOD SHELVING. MAXIMIZE OPNS. DIMENSIONS WITH AVAILABLE EXIST. CONDITIONS.</p> <p><b>13</b> NEW ELECTRICAL PANEL.</p> <p><b>14</b> NEW ELECTRIC METER &amp; DISCONNECT SWITCH. LOCATION COORDINATE FINAL LOCATION WITH CLEARANCES REQUIRED BY BSA'S DESIGN CRITERIA REQUIREMENTS.</p> <p><b>15</b> CONSTRUCT NEW WOOD ENCLOSURE &amp; SERVICE DOOR AT EXIST. GAS METER. VERIFY UNIT DIMENSIONAL REQUIREMENTS IN FIELD.</p> <p><b>16</b> NOT USED.</p> <p><b>17</b> NEW 40 GALLON CAPACITY ELECTRIC WATER HEATER. COORDINATE UNIT SELECTION WITH AVAILABLE DIMENSION UNDER STAIRS. ADJUST LOCATION TOWARD ACCESS PANEL IF FURTHER CLEARANCE IS REQUIRED.</p> <p><b>18</b> PROVIDE FLOOR INSULATION BELOW NEW FLOOR CONSTRUCTION.</p> <p><b>19</b> PATCH CONCRETE SIDEWALK TO MATCH EXISTING AT AREAS ONLY DISTURBED BY CONSTRUCTION ACTIVITY.</p> <p><b>20</b> PRECAST CONCRETE STAIRS. PROVIDE WELDED STEEL FACTORY PRIMED FIELD PAINTED HANDRAILS ON ONE SIDE OF STAIR.</p> <p><b>21</b> NEW PINE STAIRS. COORDINATE FINAL RISER HEIGHTS WITH FINAL FLOOR FINISH DEPTHS.</p> <p><b>22</b> NEW STACKED WASHER/DRYER UNIT. COORDINATE FINAL VENTING AND AND PLUMBING WITH FINAL SELECTION. FLAT STUD BIFOLD DOOR JAMB RETURNS.</p> <p><b>23</b> PLYWOOD SOFFIT OVERHANG ABOVE OF 12" DASHED. PROVIDE MIDGET LOWERS AT 24" O.C. OR EQUIVALENT CONT. SCREENED SOFFIT LOUVER.</p>

ARCHITECTS

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STRUCTURAL ENGINEERS

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Baltimore, Maryland  
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RENOVATION & ADDITION  
CONSTRUCTION DOCUMENTS

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Mr. & Ms. Smith  
6 East Home Street  
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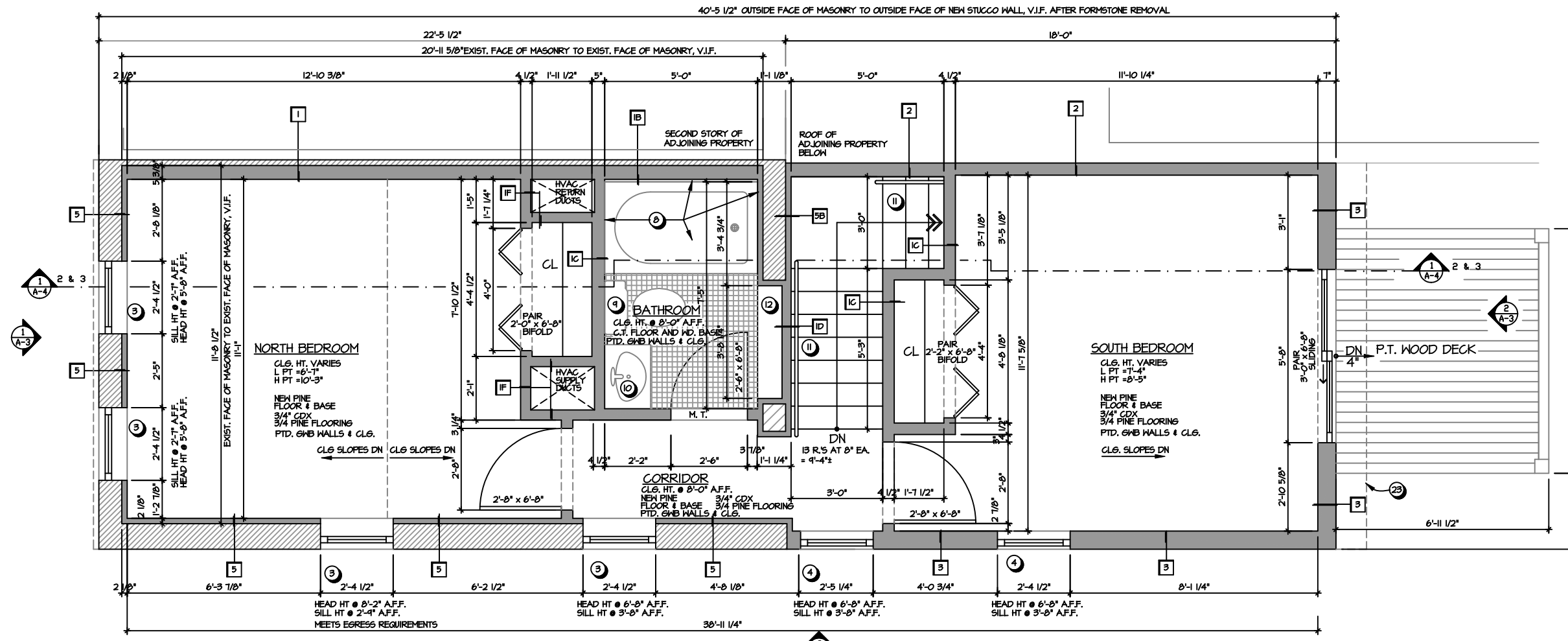
FOR EXAMPLE ONLY:  
NOT FOR CONSTRUCTION

DESIGNED:  
DRAWN:  
CHECKED:  
APPROVED:

REVISIONS	DATE

Job#: 15-005  
CADD FILE:  
DATE: AUGUST 1, 2016  
SCALE: AS NOTED

**A-1**  
FLOOR PLAN



EXIST. WALL CONSTRUCTION TO REMAIN.  
 NEW WALL CONSTRUCTION - SEE WALL TYPE SCHEDULE BELOW



**1 SECOND FLOOR PLAN**  
1/2"=1'-0"

# FLOOR PLAN EXAMPLE:

- Indicate on Floor Plan:
- 1. Existing Construction
  - 2. New Construction
  - 3. North Arrow
  - 4. Scale
  - 5. Dimensions
  - 6. New/Existing Doors & Windows
  - 7. New Finishes
  - 8. Property Lines
  - 9. Partition/Wall Construction

WALL TYPES	NOTE: SEE C-1 FOR COMPLETE DISCRPTION OF UL DESIGN NUMBERS U865 & U856.	KEYED CONSTRUCTION NOTES
<b>PARTITION WALLS:</b> <b>1</b> WALL TYPE 1 UL DESIGN NO. U865. APPLY ONE LAYER OF 5/8" TYPE "X" G.N.B. TO EXISTING FACE OF WALL BEFORE CONSTRUCTION OF RATED WALL. 5/8" TYPE "X" GYPSUM WALL BOARD AT BOTH SIDES OF 2X4 WOOD STUDS AND 3 1/2" OF SOUND ATTENUATION BLANKET. TOTAL DEPTH OF 5 3/8". <b>1A</b> WALL TYPE 1A 1/2" GYPSUM WALL BOARD BOTH SIDES OF 2X4 WOOD STUDS. TOTAL DEPTH OF 4 1/2". <b>1B</b> WALL TYPE 1B ONE HOUR RATED WALL CONSTRUCTION. SAME AS WALL TYPE 1 ABOVE WITH ADDITIONAL LAYER OF 1/2" CEMENT BOARD AND CERAMIC TILE AT BATH TUB/SHOWER SURROUND. TOTAL DEPTH OF 6 3/8". <b>1C</b> WALL TYPE 1C 1/2" GYPSUM WALL BOARD EITHER SIDE OF 2X4 WOOD STUDS WITH 3 1/2" SOUND ATTENUATION BLANKETS. TOTAL DEPTH OF 4 1/2". <b>1D</b> WALL TYPE 1D 1/2" GYPSUM WALL BOARD EITHER SIDE OF 2X3 WOOD STUDS WITH 3 1/2" SOUND ATTENUATION BLANKETS. TOTAL DEPTH OF 3 1/2". <b>1E</b> WALL TYPE 1E 1/2" GYPSUM WALL BOARD AT FINISHED SIDE OF 2X3 WOOD STUD WALL. TOTAL DEPTH OF 3". <b>1F</b> WALL TYPE 1F 1/2" GYPSUM WALL BOARD AT FINISHED SIDE OF 2X4 WOOD STUD WALL. TOTAL DEPTH OF 4".	<b>EXTERIOR WALLS:</b> <b>2</b> WALL TYPE 2 UL DESIGN NO. U856. ONE HOUR RATED WALL CONSTRUCTION. 5/8" TYPE "X" GYPSUM WALL BOARD AT INTERIOR SIDE OF 2X4 WOOD STUD WALL AND FRG 1/2" PLYWOOD AT EXTERIOR SIDE AND 3 1/2" OF SOUND ATTENUATION BLANKET. INSTALL VINYL SIDING AT EXTERIOR PER UL DESIGN REQUIREMENTS. TOTAL DEPTH OF WALL CONSTRUCTION IS 4 3/4". NOTE: WALL TYPE 2 OCCURS VERTICALLY ABOVE ROOF OF ADJOINING PROPERTY. DO NOT BUILD ON OVER EXISTING PARTY WALL. <b>3</b> WALL TYPE 3 UL DESIGN NO. U856 - ONE HOUR RATED WALL CONSTRUCTION. SAME AS WALL TYPE 2 ABOVE WITH 1/2" OF STUCCO IN LIEU OF VINYL SIDING AND 2X6 WOOD STUDS IN LIEU OF 2X4. TOTAL DEPTH OF WALL CONSTRUCTION IS 7 1/8". <b>WALL TYPE 4</b> NOT USED. <b>FURRED WALLS:</b> <b>5</b> WALL TYPE 5 1 5/8" METAL FURRING WITH 1/2" GYPSUM WALL BOARD AND 1 5/8" RIGID INSULATION. TOTAL DEPTH OF 2 1/8". <b>5A</b> WALL TYPE 5A 2X4 WOOD STUDS WITH 1/2" GYPSUM WALL BOARD AND 3 1/2" BATT INSULATION. TOTAL DEPTH OF 4". <b>5B</b> WALL TYPE 5B SAME AS WALL TYPE 5 ABOVE WITHOUT RIGID INSULATION.	<b>1</b> NEW SOLID CORE WOOD DOOR IN EXIST. OPNG. FINAL UNIT TO BE SELECTED. <b>2</b> NOT USED. <b>3</b> NEW VINYL REPLACEMENT DOUBLE HUNG WINDOW IN EXIST. OPNG. EXISTING WOOD JAMB TRIM TO REMAIN. FURNISH NEW IX HEAD & SILL CASING PAINT GRADE TRIM. FINAL MANUFACTURER & UNIT TO BE SELECTED. <b>4</b> NEW VINYL DOUBLE HUNG WINDOW IN NEW OPENING. NEW IX WOOD TRIM PAINT GRADE SILL, JAMB AND HEAD. FINAL MANUFACTURER & UNIT TO BE SELECTED. <b>5</b> LINE OF NEW P.T. WOOD DECK PROJECTION ABV DASHED. <b>6</b> NEW WALL AND FLOOR KITCHEN CABINETS. COORDINATE FINAL SELECTION WITH OWNER. PROVIDE ADEQUATE BLOCKING FOR WALL MOUNTED ITEMS. <b>7</b> KITCHEN APPLIANCES AND FIXTURES SHOWN FOR PRELIMINARY LAYOUT PURPOSES ONLY. COORDINATE FINAL SELECTION AND UNIT REQUIREMENTS FOR PLUMBING, ELECTRICAL, DIMENSIONAL & VENTING. INCLUDE GARBAGE DISPOSER, SINK AND FAUCETS, STOVE AND OVEN, DISHWASHER AND REFRIGERATOR. <b>8</b> NEW BUILT-IN RECESSED ENAMELED STEEL BATH TUB WITH CERAMIC TILE SURROUND. COORDINATE FINAL SELECTION WITH OWNER. INSTALL CEMENT BOARD AT TILE SURROUND. <b>9</b> NEW TOILET. COORDINATE FINAL SELECTION W/ OWNER. <b>10</b> NEW SINK, FAUCETS & MEDICINE CABINET MIRROR/COMBINATION. COORDINATE FINAL SELECTION WITH OWNER. <b>11</b> NEW HARDWOOD HANDRAIL. <b>12</b> NEW BUILT-IN WOOD SHELVING. MAXIMIZE OPNG. DIMENSIONS WITH AVAILABLE EXIST. CONDITIONS. <b>13</b> NEW ELECTRICAL PANEL. <b>14</b> NEW ELECTRIC METER & DISCONNECT SWITCH. LOCATION COORDINATE FINAL LOCATION WITH CLEARANCES REQUIRED BY B94'S DESIGN CRITERIA REQUIREMENTS. <b>15</b> CONSTRUCT NEW WOOD ENCLOSURE & SERVICE DOOR AT EXIST. GAS METER. VERIFY UNIT DIMENSIONAL REQUIREMENTS IN FIELD. <b>16</b> NOT USED. <b>17</b> 40 GALLON CAPACITY ELECTRIC WATER HEATER. COORDINATE UNIT SELECTION WITH AVAILABLE DIMENSION UNDER STAIRS. ADJUST LOCATION TOWARD ACCESS PANEL IF FURTHER CLEARANCE IS REQUIRED. <b>18</b> PROVIDE FLOOR INSULATION BELOW NEW FLOOR CONSTRUCTION. <b>19</b> PATCH CONCRETE SIDEWALK TO MATCH EXISTING AT AREAS ONLY DISTURBED BY CONSTRUCTION ACTIVITY. <b>20</b> PRECAST CONCRETE STAIRS. PROVIDE WELDED STEEL FACTORY PRIMED FIELD PAINTED HANDRAILS ON ONE SIDE OF STAIR. <b>21</b> NEW PINE STAIRS. COORDINATE FINAL RISER HEIGHTS WITH FINAL FLOOR FINISH DEPTHS. <b>22</b> NEW STACKED WASHER/DRYER UNIT. COORDINATE FINAL VENTING AND AND PLUMBING WITH FINAL SELECTION. FLAT STUD BIFOLD DOOR JAMB RETURN. <b>23</b> PLYWOOD SOFFIT OVERHANG ABOVE OF 12" DASHED. PROVIDE MIDGET LOUVERS AT 24" O.C. OR EQUIVALENT CONT. SCREENED SOFFIT LOUVER.

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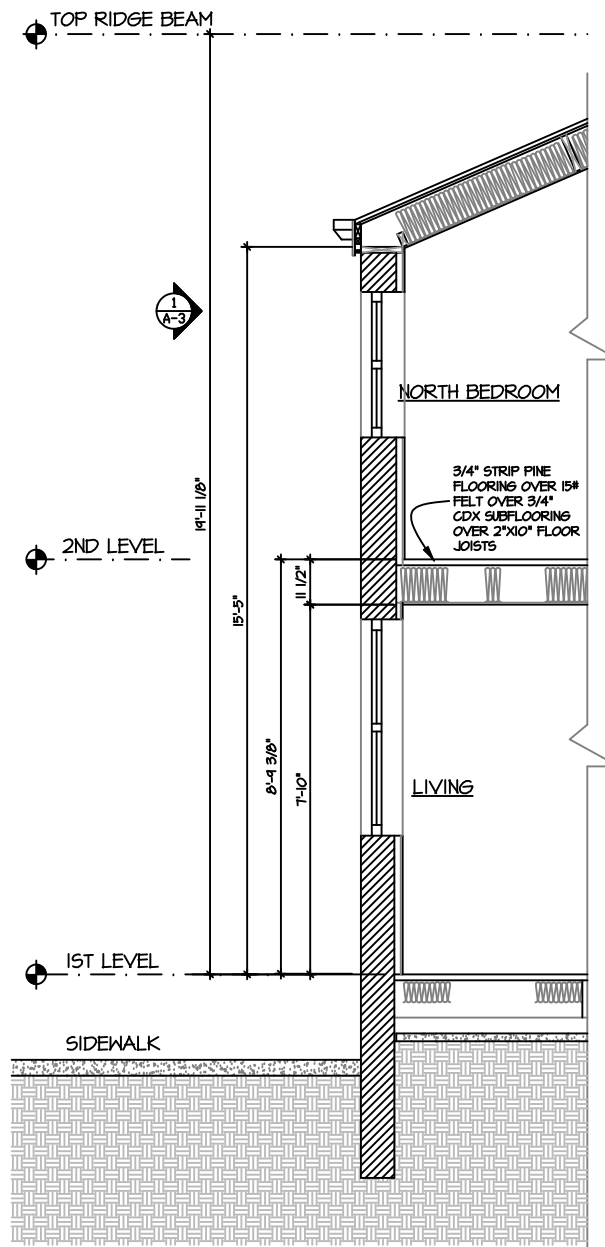
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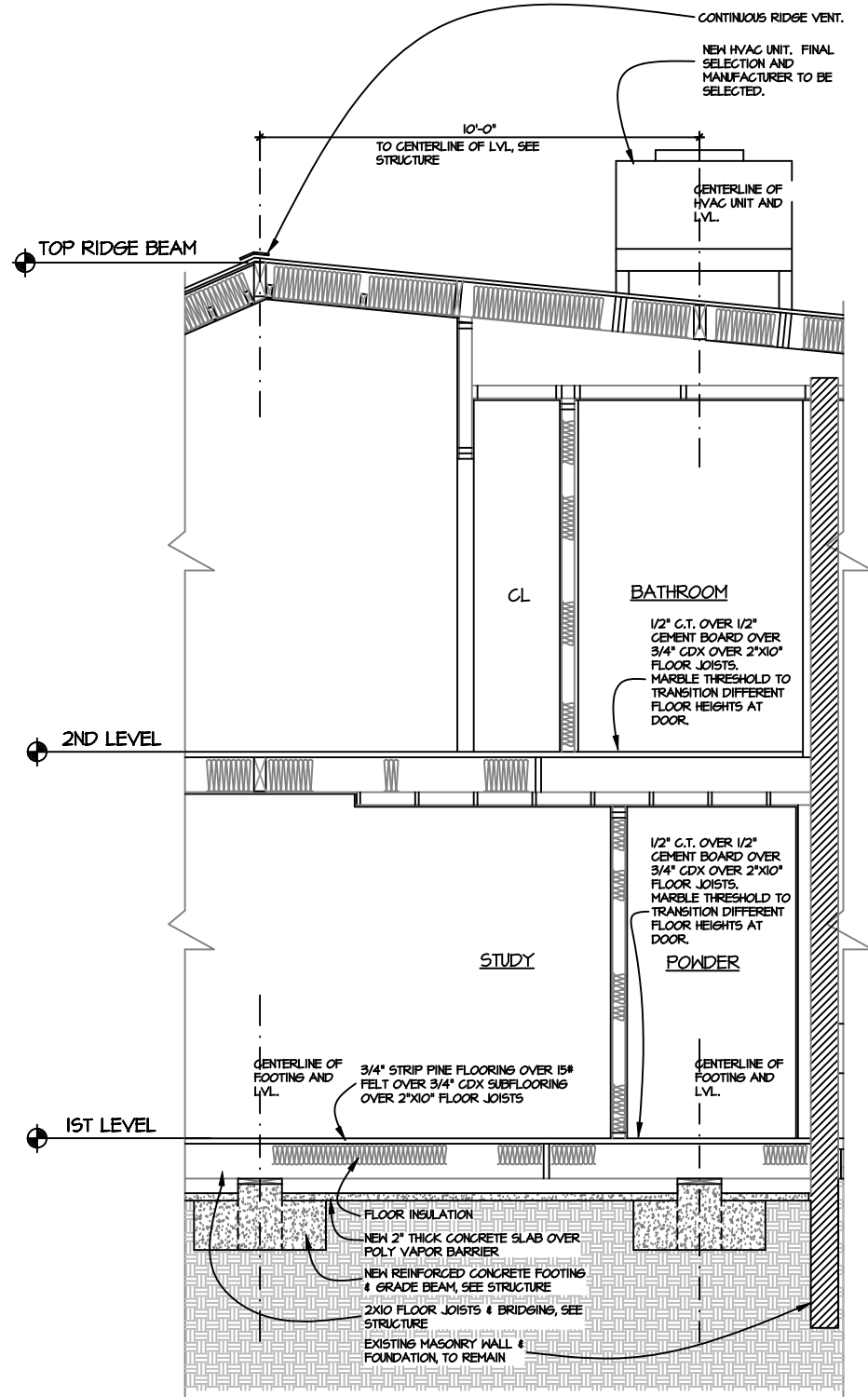
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JOB#: 15-005  
 CADD FILE:  
 DATE: AUGUST 1, 2016  
 SCALE: AS NOTED

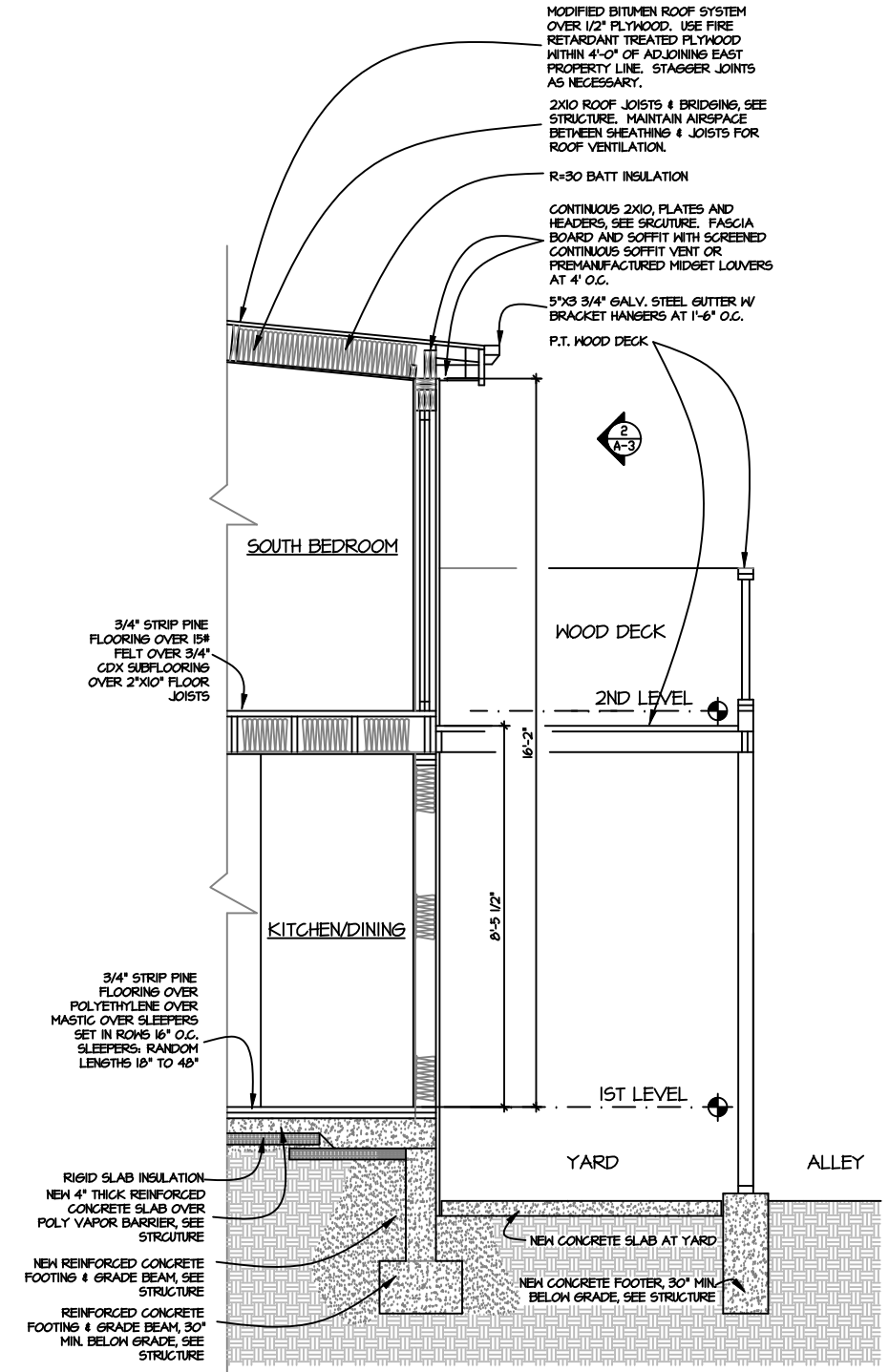
**A-2**  
**FLOOR PLAN**



**1 SECTION**  
1/2"=1'-0"



**2 SECTION**  
1/2"=1'-0"



**3 SECTION**  
1/2"=1'-0"

**SECTION/DETAIL EXAMPLE:** Indicate on Sections:

- 1. Details
- 2. Dimensions
- 3. Scale
- 4. Floor Elevations

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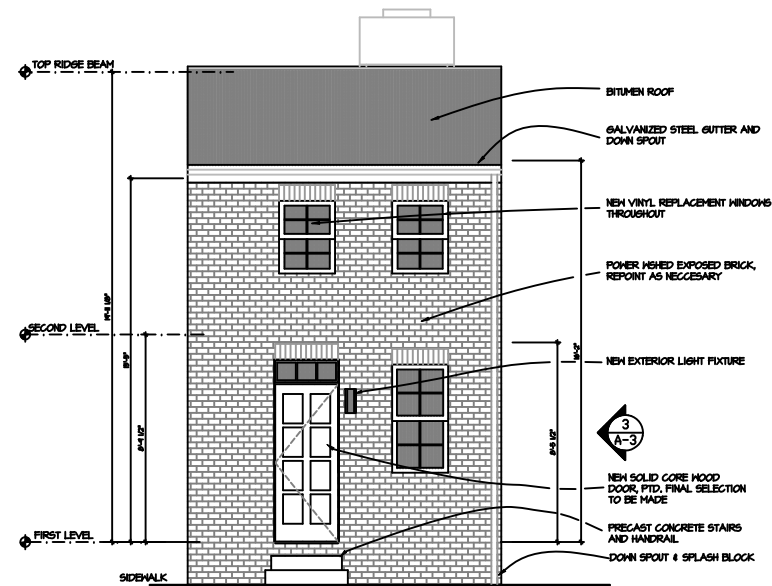
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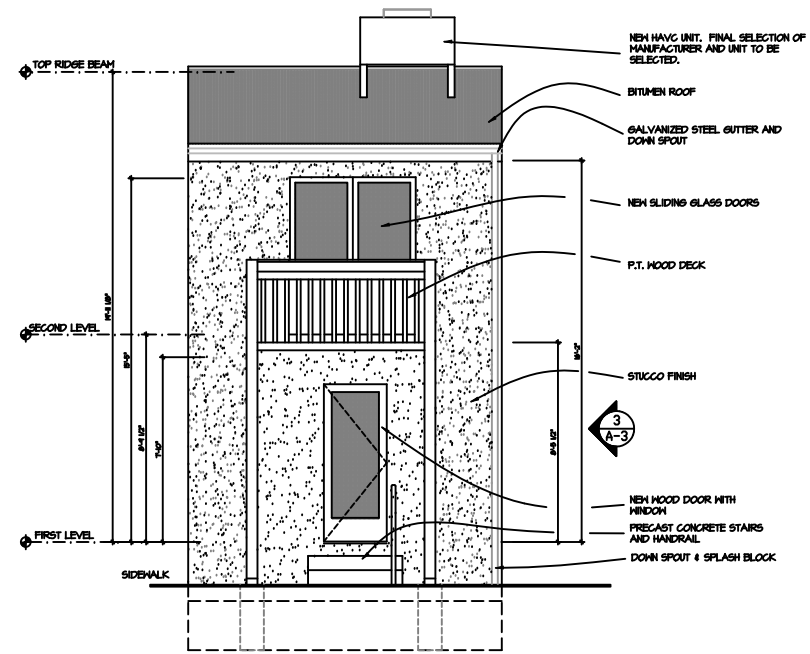
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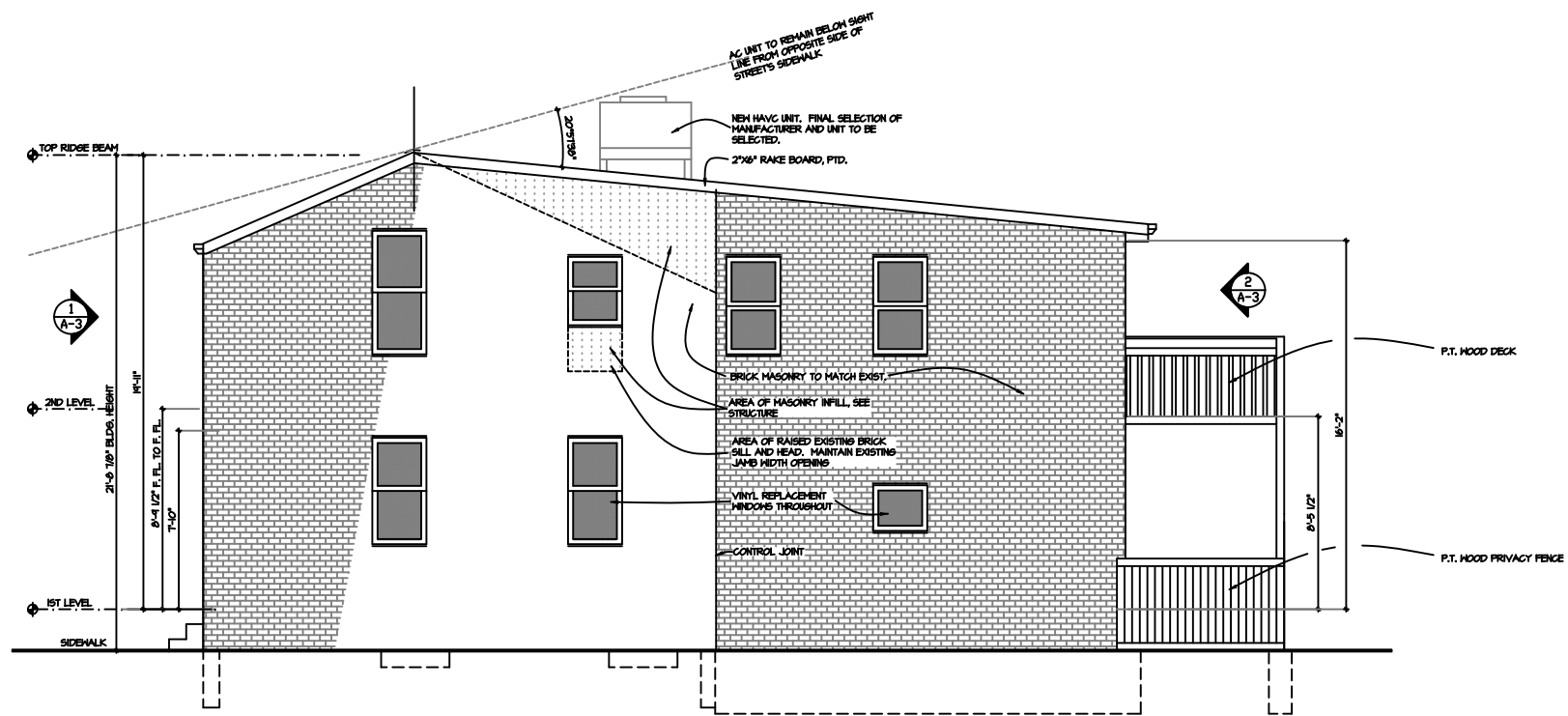
**A-4**  
**SECTIONS**



**1 BUILDING ELEVATION**  
1/4"=1'-0"



**2 BUILDING ELEVATION**  
1/4"=1'-0"



**3 BUILDING ELEVATION**  
1/4"=1'-0"

# BUILDING ELEVATION EXAMPLE:

Indicate on Building Elevations:

1. Existing Construction to Remain
2. New Construction
3. New Finishes
4. Scale
5. Dimensions
6. Floor Elevations, Building Height
7. Existing & New Windows & Doors

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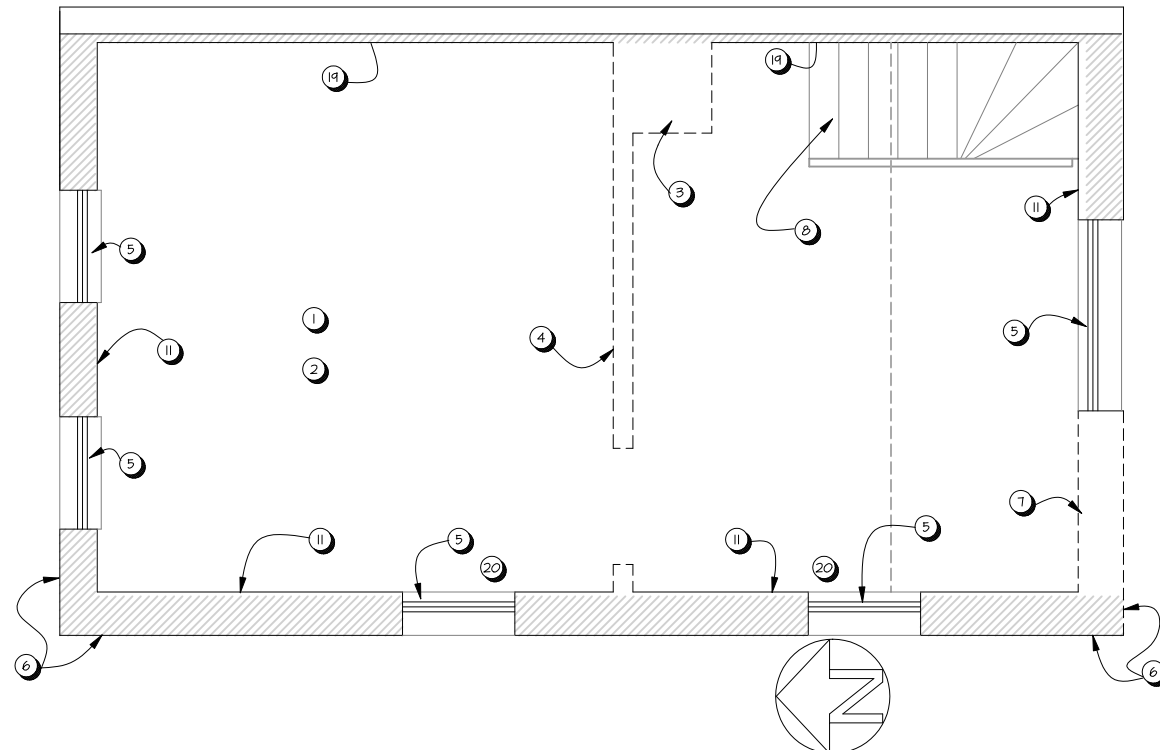
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APPROVED:

REVISIONS	DATE

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**A-3**  
BUILDING ELEVATIONS



**1 SECOND FLOOR DEMOLITION PLAN**  
1/2"=1'-0"

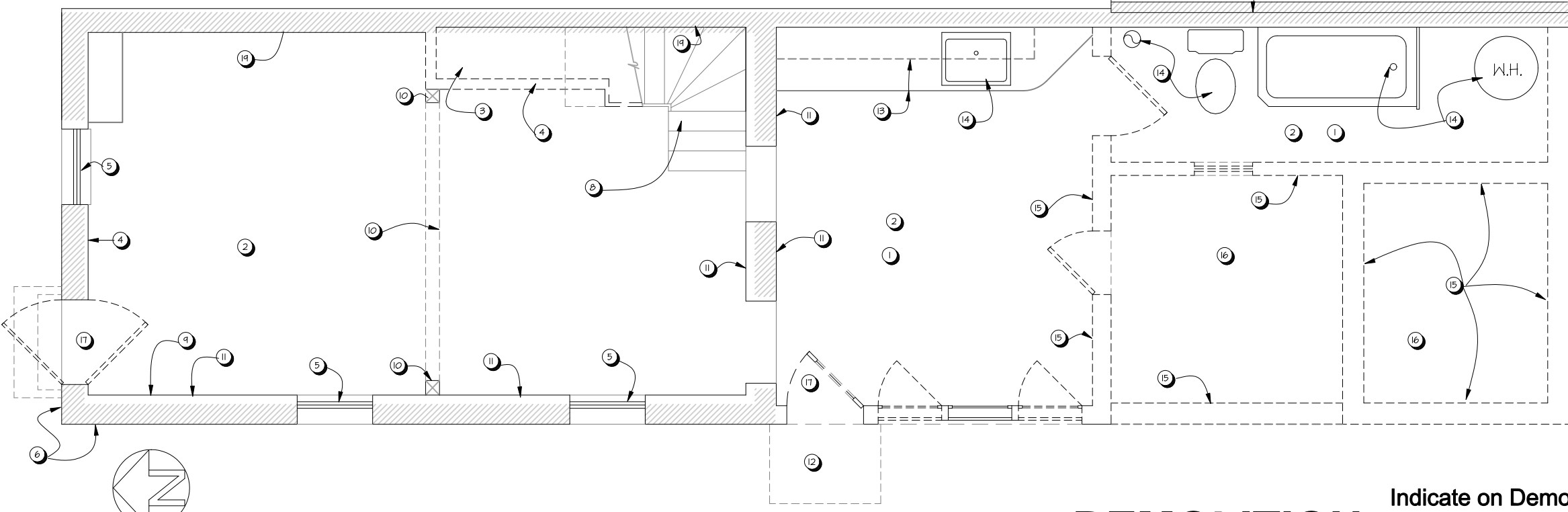
**GENERAL DEMOLITION NOTES**

- 1 REMOVE EXISTING ROOF TO ACCOMMODATE NEW CONSTRUCTION.
- 2 REMOVE EXISTING WOOD FLOOR AND ANY FLOOR FINISHES AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- 3 COMPLETELY REMOVE EXISTING MASONRY CHIMNEY AND ANY ASSOCIATED FOOTING. DO NOT UNDERMINE ADJOINING PROPERTY'S FOUNDATION.
- 4 REMOVE EXISTING PLASTER LATH AND WOOD STUD WALL.
- 5 REMOVE EXISTING WINDOW AND FRAME FROM EXTERIOR WALL TO ACCOMMODATE NEW VINYL REPLACEMENT WINDOW INSTALLATION. EXISTING WOOD JAMBS ARE TO BE RE-USED AND NEW WOOD HEADS AND JAMBS ARE TO BE FURNISHED AND INSTALLED. FIELD VERIFY WINDOW OPENINGS BEFORE PROCURING NEW REPLACEMENT WINDOWS.
- 6 REMOVE EXISTING FORMSTONE APPLICATION FROM MASONRY WALL. POWER WASH, CLEAN EXISTING NORTH ELEVATION MASONRY AND REPOINT AS NECESSARY. REPLACE DAMAGED PORTIONS OF MASONRY WALL.
- 7 REMOVE PORTION OF EXISTING MASONRY WALL TO ACCOMMODATE NEW OPENING AS INDICATED ON CONSTRUCTION PLANS.
- 8 COMPLETELY REMOVE WOOD STAIRS.
- 9 COORDINATE WITH BG&E FOR THE DISCONNECT OF ELECTRICAL UTILITY. REMOVE AND STORE ELECTRICAL METER FOR RELOCATION PER CONSTRUCTION PLANS.
- 10 REMOVE WOOD POSTS AND FLOOR BEAM. PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED TO CREATE A STRUCTURALLY SOUND ENVIRONMENT WHILE NEW CONSTRUCTION PROCEEDS.
- 11 REMOVE EXISTING PARTICLE BOARD PLASTER LATH AND WOOD FURRING STRIPS TO EXPOSE EXISTING MASONRY FACE.
- 12 REMOVE WOOD STEP AND ANY ASSOCIATED CONCRETE SUPPORT.
- 13 COMPLETELY REMOVE KITCHEN CABINETS. PATCH ALL WALL OPENINGS AND PENETRATIONS EXPOSED BY THE DEMOLITION PROCESS.
- 14 DISCONNECT EXISTING PLUMBING FIXTURE AND CAP AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- 15 CAREFULLY SAW CUT WHERE INDICATED AND REMOVE PORTION OF EXISTING CMU WALL & ANY FOOTINGS.

- 16 REMOVE PORTION OF EXISTING CONCRETE EXTERIOR SLAB.
- 17 REMOVE WOOD DOOR AND FRAME FROM EXTERIOR DOOR TO ACCOMMODATE NEW REPLACEMENT DOOR INSTALLATION.
- 18 EXISTING MASONRY PARTY WALL TO REMAIN INTACT. DO NOT DEMOLISH PARTY WALL OR FREESTANDING EXTERIOR CMU WALL. BRACE AND SHORE AS REQUIRED WHILE NEW CONSTRUCTION PROCEEDS.
- 19 CAREFULLY REMOVE EXISTING PLASTER TO EXPOSE EXISTING WOOD STUDS. REPLACE DAMAGED WOOD STUDS AND APPLY 5/8" TYPE X GIB OVER NETIRE SURFACE OF WALL.
- 20 SEE 3/A-4 FOR EXTENT OF MASONRY REMOVAL TO ACCOMMODATE NEW REPLACEMENT VINYL WINDOW.

**GENERAL DEMOLITION NOTES**

- 1. REMOVAL OF A PARTICULAR ITEM (IE., WALLS, DOORS, ETC.) IS TO INCLUDE ALL RELATED ITEMS: ELECTRICAL, MECHANICAL, PLUMBING, AND HARDWARE. IT IS ALSO TO INCLUDE PATCHING OF ANY DAMAGES OR HOLES IN THE EXISTING TO REMAIN, AS A RESULT OF REMOVAL. CAP ALL LINES CAUSED BY REMOVED FIXTURES. CARE IS TO BE TAKEN NOT TO REMOVE MORE THAN IS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION. ANY SURFACES DISTURBED BY REMOVAL ARE TO BE RETURNED TO A LIKE-NEW CONDITION WITH NEW MATERIAL TO MATCH SURROUNDING SURFACES.
- 2. REMOVE ALL DEBRIS PROPERLY FROM SITE. ALL DEMOLISHED MATERIAL, EXCEPT THAT LISTED OR MARKED BY THE PROJECT MANAGER FOR RETENTION, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. LOAD DEMOLISHED MATERIAL DIRECTLY ON TRUCKS OR INTO DUMPSTER FOR REMOVAL. DISPOSE OF DEBRIS LEGALLY. DO NOT BURN ON SITE. DO NOT ALLOW DEBRIS TO ENTER SEWERS. DO NOT LET PILED DEBRIS ENDANGER STRUCTURE, BLOCK EXITS OR ROADWAYS. UPON DISCOVERY OF ANY HAZARDOUS MATERIALS, NOTIFY THE PROJECT MANAGER OF TYPE, LOCATION AND EXTENT OF SAME.
- 3. PHASE CONSTRUCTION AND PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED TO CREATE A STRUCTURALLY SOUND ENVIRONMENT WHILE NEW CONSTRUCTION PROCEEDS. TAKE EVERY PRECAUTION TO PREVENT UNDERMINING OF ADJOINING PROPERTY'S FOUNDATION.
- 4. OWNER IS TO EMPLOY A CERTIFIED EXTERMINATOR BEFORE BEGINNING DEMOLITION PER CITY REQUIREMENTS. EMPLOY A TERMITE EXTERMINATOR AFTER DEMOLITION IS COMPLETE AND BEFORE NEW CONSTRUCTION BEGINS.
- 5. VERIFY THE RESULTANT EXISTING FACE OF MASONRY TO EXISTING FACE OF MASONRY DIMENSIONS AFTER DEMOLITION. REVIEW & REVISE IF NECESSARY DIMENSIONS INDICATED ON CONSTRUCTION PLANS.



**2 GROUND FLOOR DEMOLITION PLAN**  
1/2"=1'-0"

**DEMOLITION PLAN EXAMPLE:**

- Indicate on Demolition Plan:
- 1. Existing Construction to Remain
  - 2. Existing Construction to be Removed
  - 3. North Arrow
  - 4. Scale

ARCHITECTS

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DATE: AUGUST 1, 2016  
SCALE: AS NOTED

**D-1**  
DEMOLITION PLANS